

# **Attachment B**

**Selected Drawings**

DEVELOPMENT APPLICATION FOR NEW RESIDENCE AT 8 CONEILL PLACE, FOREST LODGE, NSW 2037

- DA 01- Council Compliance
- DA 02- Site / Roof Plan & Analysis
- DA 03- Demolition and Existing Elevations
- DA 04- Proposed Ground Floor Plan
- DA 05- Proposed First Floor Plan
- DA 06- Elevations- East & West
- DA 07- Elevations-North and South
- DA 08- Section AA, BB
- DA 09- Section CC, DD
- DA 10- Shadow Diagram - Winter Solstice 9am
- DA 10-1 - Shadow Diagram - Winter Solstice 10am
- DA 10-2 - Shadow Diagram - Winter Solstice 11am
- DA 11- Shadow Diagram - Winter Solstice 12pm
- DA 11-1- Shadow Diagram - Winter Solstice 1pm
- DA 11-2- Shadow Diagram - Winter Solstice 2pm
- DA 12- Shadow Diagram - Winter Solstice 3pm
- DA 13- Photomontage : Front
- DA 14- Photomontage: Rear
- DA 15- External Finishes Schedule

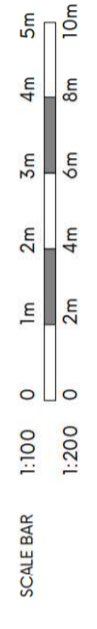


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 Surry Hills, NSW 2010  
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 NSW/ARB No. 10947

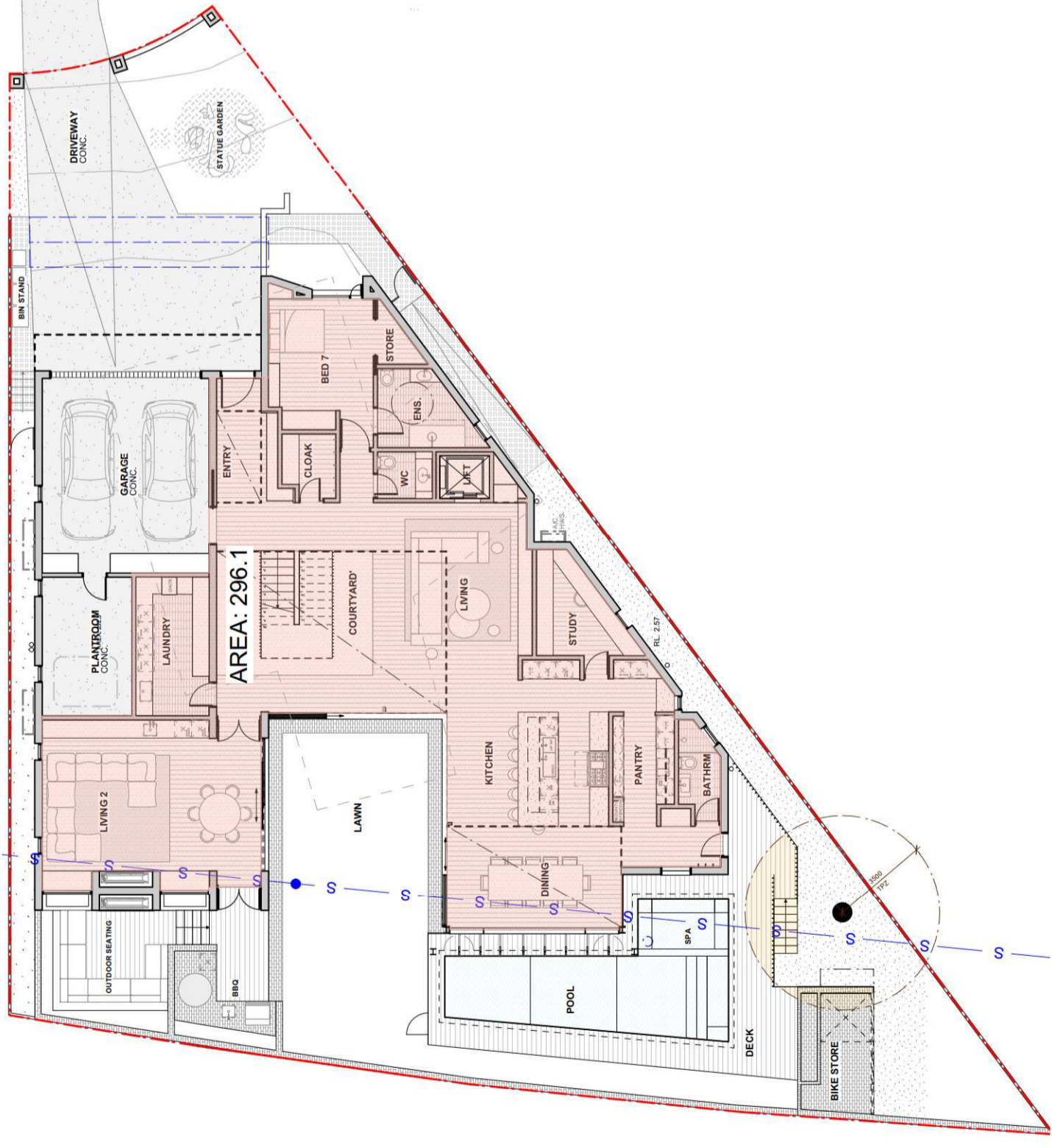
revision no.	description	date
D	DA Resubmission - front balcony omitted	15/03/2023



ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONCERN ALL MEASUREMENTS ON SITE  
 WITH THE EXCEPTED DIMENSIONS. DIMENSIONS ON DRAWINGS SHOULD NOT BE SCALE  
 DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE. DIMENSIONS ON DRAWINGS  
 TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED.  
 DESIGN AND DRAWINGS REMAIN THE RIGHT OF MOLNAR ARCHITECTS P/L



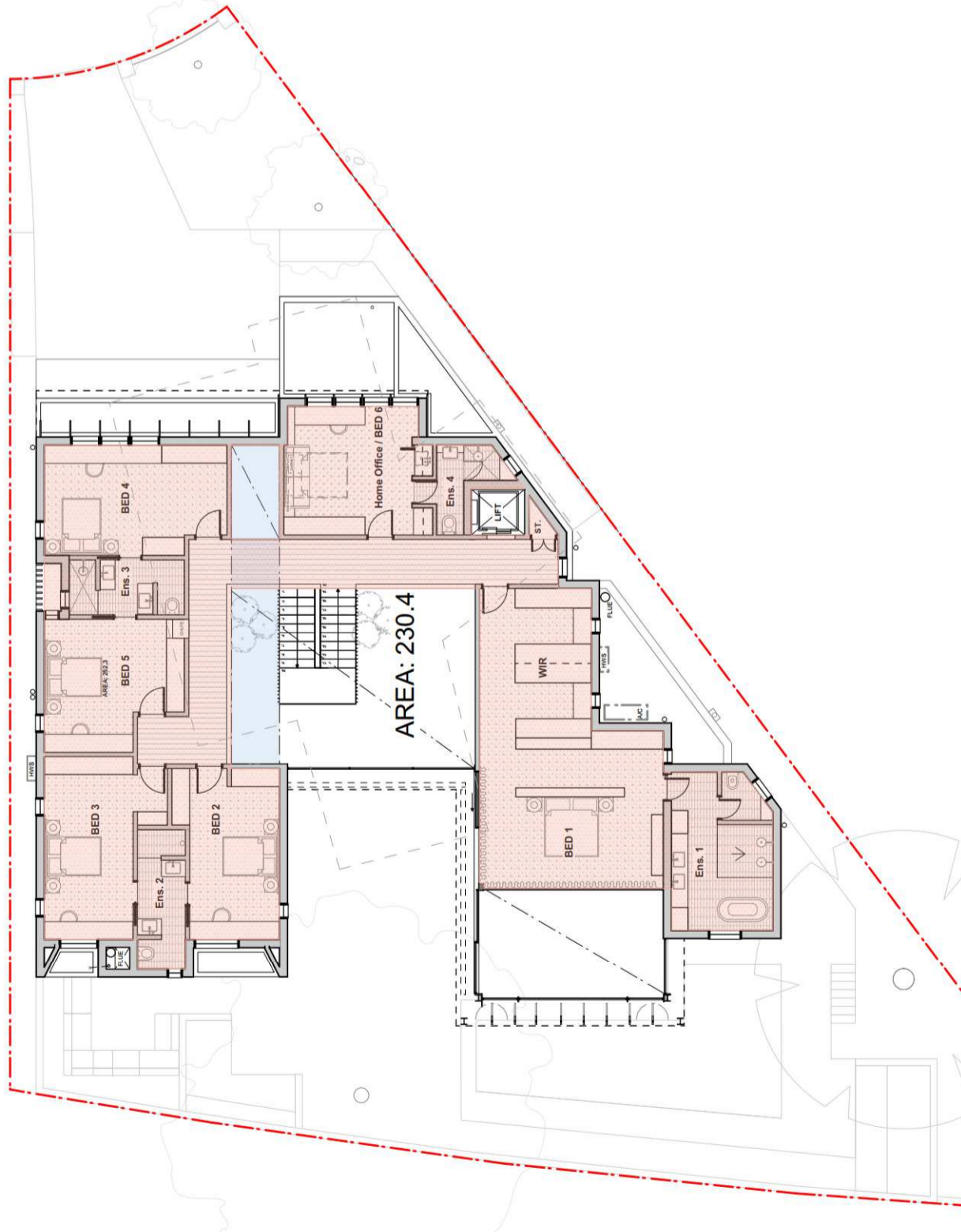
project:	Paddon Residence 8 Coneill Place, Forest Lodge 2037 Lot 8 DP 24125	dwg title:	Cover Page
client:	Peter Paddon	project no.:	106
		dwg no.:	DA-00
		revision:	D
		scale:	1:100 @A2
		date:	AUGUST 2022



GROUND FLOOR PLAN: GFA



GROUND FLOOR PLAN: LANDSCAPED AREA + OPEN SPACE



FIRST FLOOR PLAN: GFA

**LEP /DCP Compliance Summary:**

Control	Proposal	Compliance Yes / No
Maximum Building Height : 6.0 m Previously Approved Building Height for other New Projects in Conneill Place: 8.5m		No Yes
FSR: 0.70:1 Allowable Gross Floor Area: 581m <sup>2</sup> (Based on site area of 830m <sup>2</sup> as surveyed)	Ground Floor GFA = 296.1 m <sup>2</sup> First Floor GFA = 230.4 m <sup>2</sup> Total GFA: 526.5 m <sup>2</sup>	Yes
Setbacks: Rear: predominant building lines Front: predominant building lines Side: on merit (BCA min'm 900mm where openings)	Setbacks: Side: 1.2M North: 0.9M Rear: 3.9M - 8.5M Front: 9.25M - 10.7M	Yes Yes Yes
Flood Prone:	Design strategy approved by WMA flood consultants	Yes
andscaped Area: 15 % Of Site Deep Soil: Required 124.5 M <sup>2</sup> 16 m sq open space	Total landscaped area ground floor: 138.1 M <sup>2</sup> open space main garden: 73.4 m <sup>2</sup>	Yes Yes
2 car spaces		Yes



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revision	description	date
D	DA Resubmission - front balcony omitted	15/03/2023

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONSIDER ALL LEGS RESULTS ON SITE FOR THE COMPLETION OF THE PROJECT. DIMENSIONS SHOULD NOT BE SCALE. WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONING IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
1:200 0 2m 4m 6m 8m 10m

project: Paddon Residence  
8 Conneill Place,  
Forest Lodge 2037  
Lot 8 DP 24125

client: Peter Paddon

dwg title: Council Compliance

project no.: 106  
dwg no.: DA-01  
revision: D

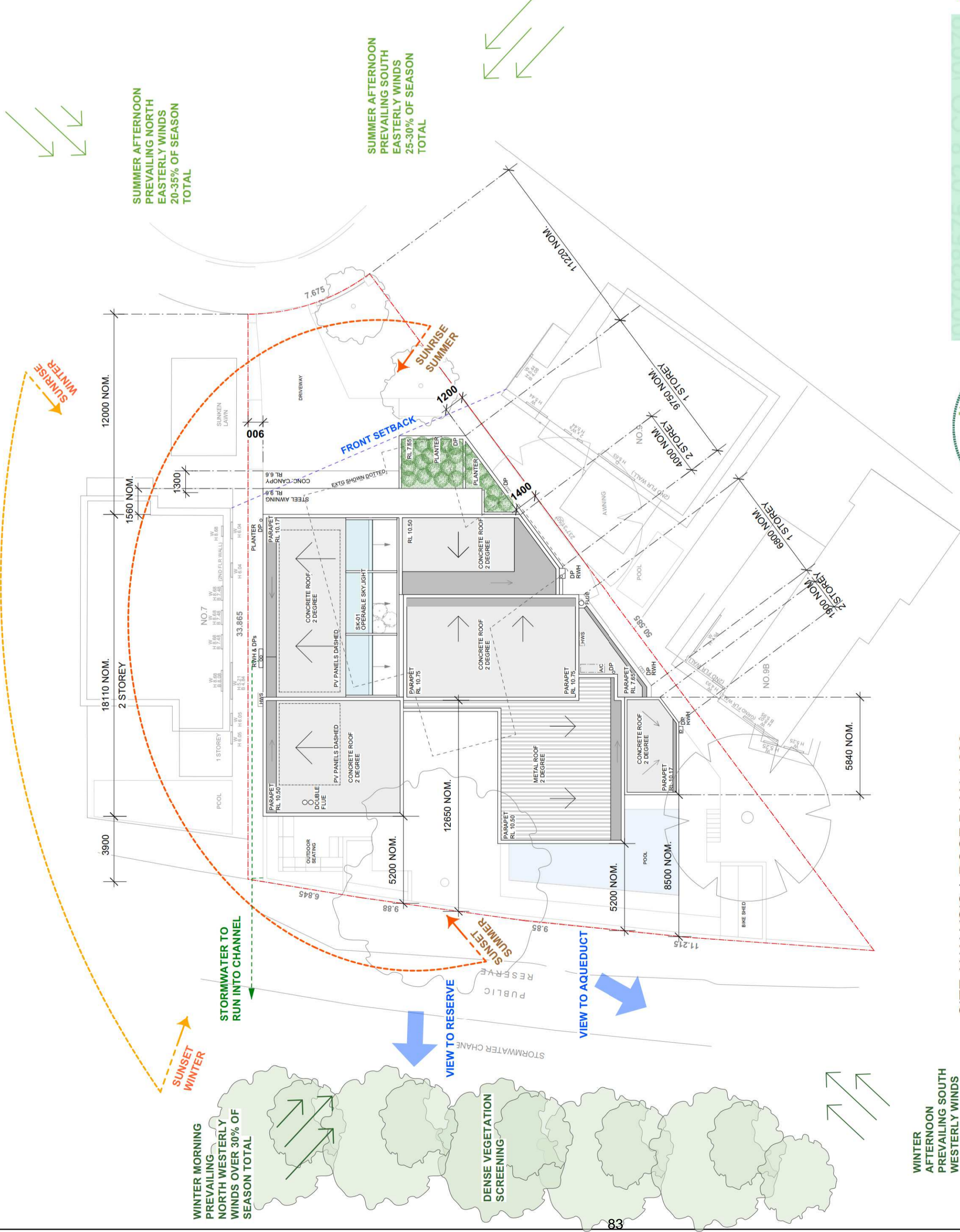
scale: 1:100 @A2  
date: AUGUST 2022



APPROVED 2 STOREY DWELLINGS WHICH EXCEED 6M HEIGHT LIMIT.  
 PROPOSAL SITE



SATELLITE VIEW:NTS



SITE ANALYSIS / ROOF PLAN 1:200

BASIX REQUIREMENTS:  
 RAINWATER TANK >19000L  
 SWIMMING POOL CAPACITY <46 KILOLITRES, SPA <2 KILOLITRES  
 HOT WATER SYSTEM: GAS INSTANTANEOUS (31-35 STCS)  
 PHOTOVOLTAIC SYSTEM AT LEAST 5 KILOWATTS  
 TAPS, TOILETS, SHOWERHEADS: 4 STAR, STOVE TOP - INDUCTION  
 CAVITY BRICK WALLS: TO BE INSULATED WITH PERMICA X1 WITH 20MM SPACERS  
 GROUND FLOOR SLAB: R2 INSULATION TO UNDERSIDE  
 INTERNAL WALLS TO BE RENDERED BRICKWORK  
 ROOF TO BE CONCRETE WITH R2.5 INSULATION TO TOP  
 SUSPENDED CEILING TYPICALLY THROUGHOUT  
 WINDOW/DOOR THERMAL SPEC: REFER TO DA 10

0007928575-02 24 Mar 2023  
 Assessor: Andrew Spalle  
 Accreditation No. 20068  
 Address: 8 Cornhill Place, Forest Lodge, NSW, 2037  
 hstar.com.au

6.4 NATIONWIDE HOUSE BUILDING RATING  
 45.1 (4/4/11)  
 www.nathere.gov.au

ABSA Accredited Assessor  
 Accredited with the accreditation period 31/03/2022-31/03/2023.  
 Assessor Name: Andrew Spalle  
 Assessor Number: 20068



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revision	no.	description	date
E	1	DA Resubmission - front balcony omitted	15/03/2023

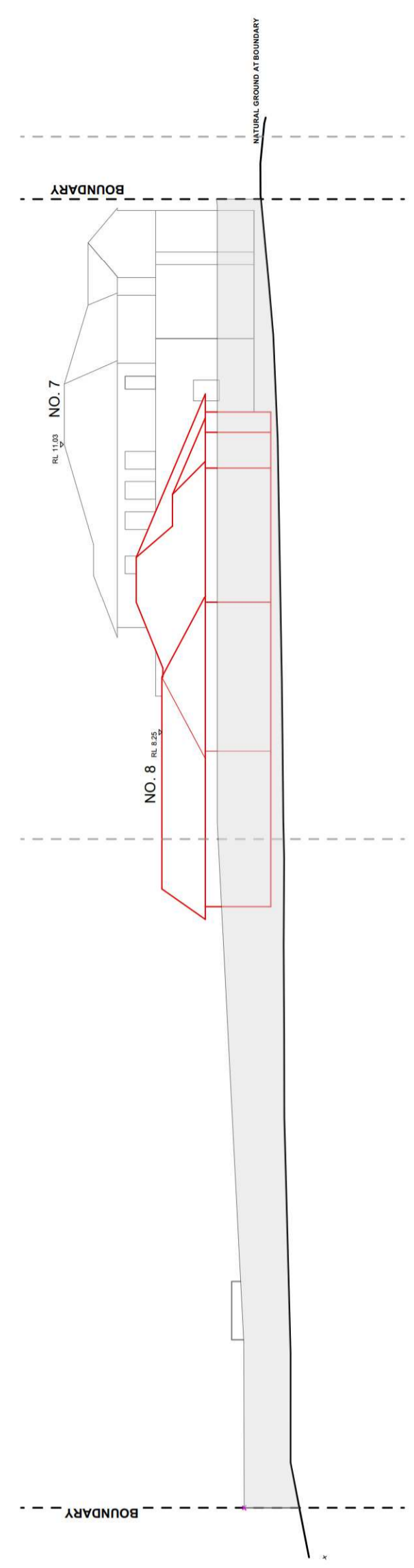
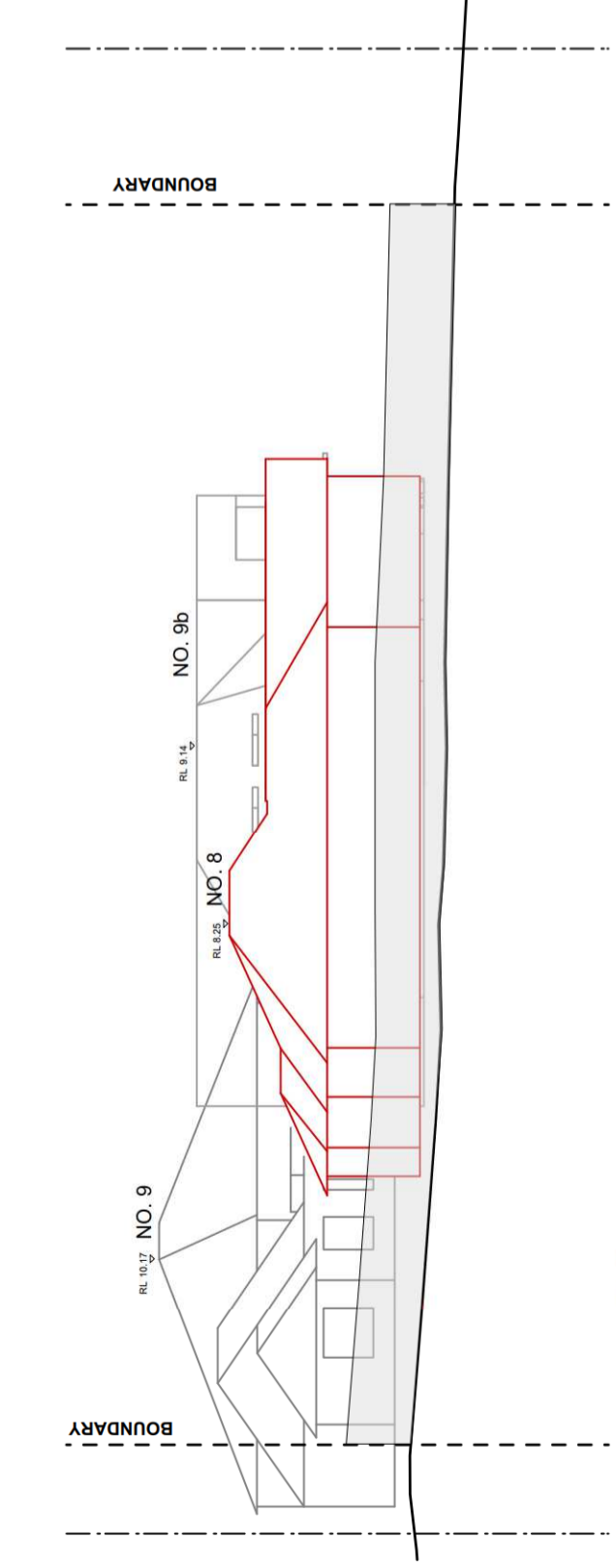
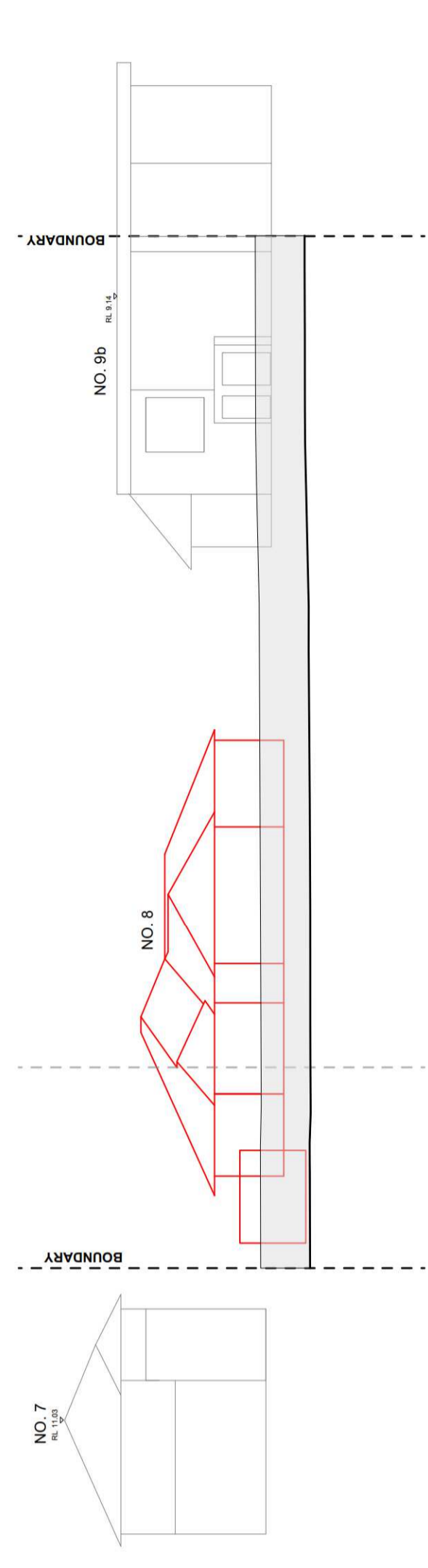
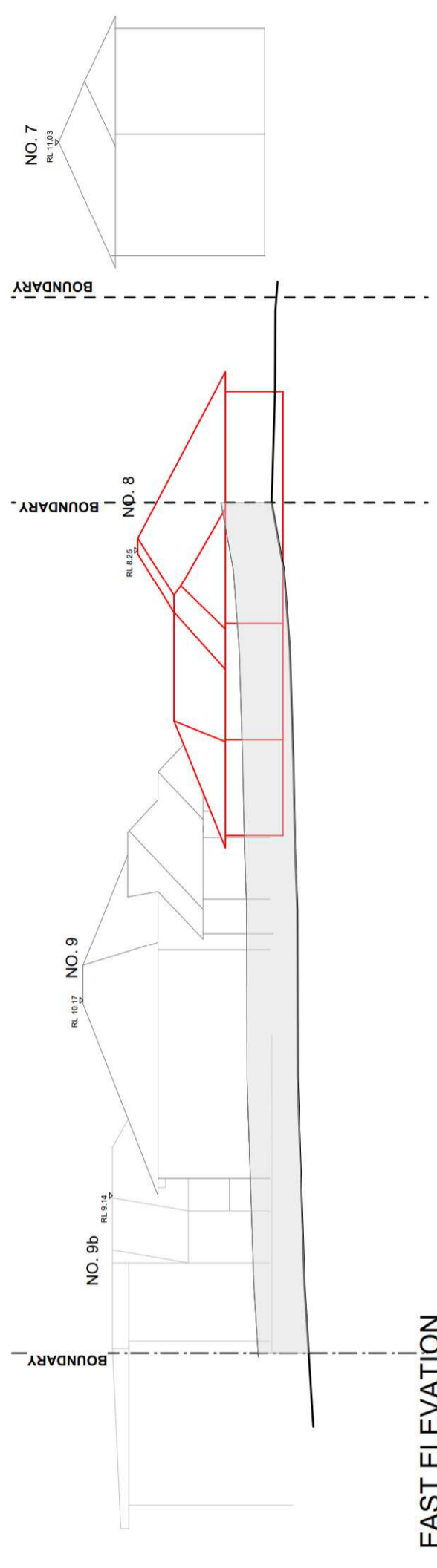
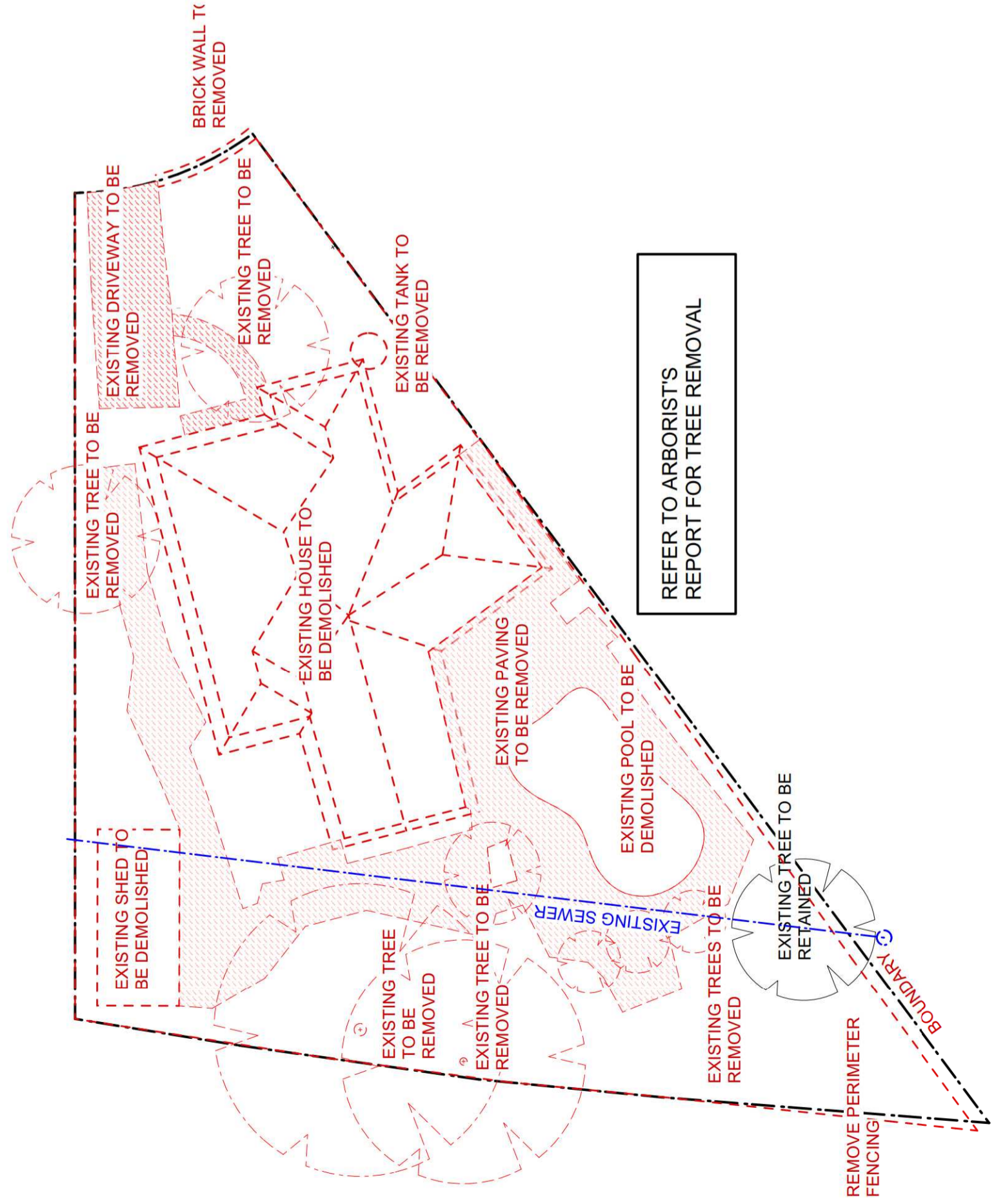
project: Paddon Residence  
 8 Cornhill Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125

client: Peter Paddon

dwg title: Site Analysis / Roof Plan  
 project no.: 106  
 dwg no.: DA-02  
 revision: E  
 scale: 1:200 @A2  
 date: AUGUST 2022

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONSIDER ALL LEGS RESULTS ON SITE.  
 PRIOR TO COMMENCEMENT OF WORK, DIMENSIONS SHOULD NOT BE SCALE.  
 WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONS IS  
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 BEGIN AND ENDINGS REMAIN COPY RIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
 1:200 0 2m 4m 6m 8m 10m



DEMOLITION PLAN



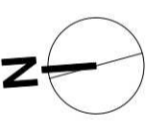
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revision	no.	description	date
A	FOR COUNCIL SUBMISSION	August 2022	

**LEGEND**

--- EXISTING TO BE DEMOLISHED + REMOVED

▨ EXISTING TO BE REMOVED



ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONCERN ALL MEASUREMENTS ON SITE TO BE TO COMMON LEVELS ON BOUNDARIES. DIMENSIONS SHOULD NOT BE SCALE DRAWINGS. DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONING IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
1:200 0 2m 4m 6m 8m 10m

project: Paddon Residence  
8 Coneill Place,  
Forest Lodge 2037  
Lot 8 DP 24125

client: Peter Paddon

dwg title: Demolition Plan + Existing Elevations

project no.: 106

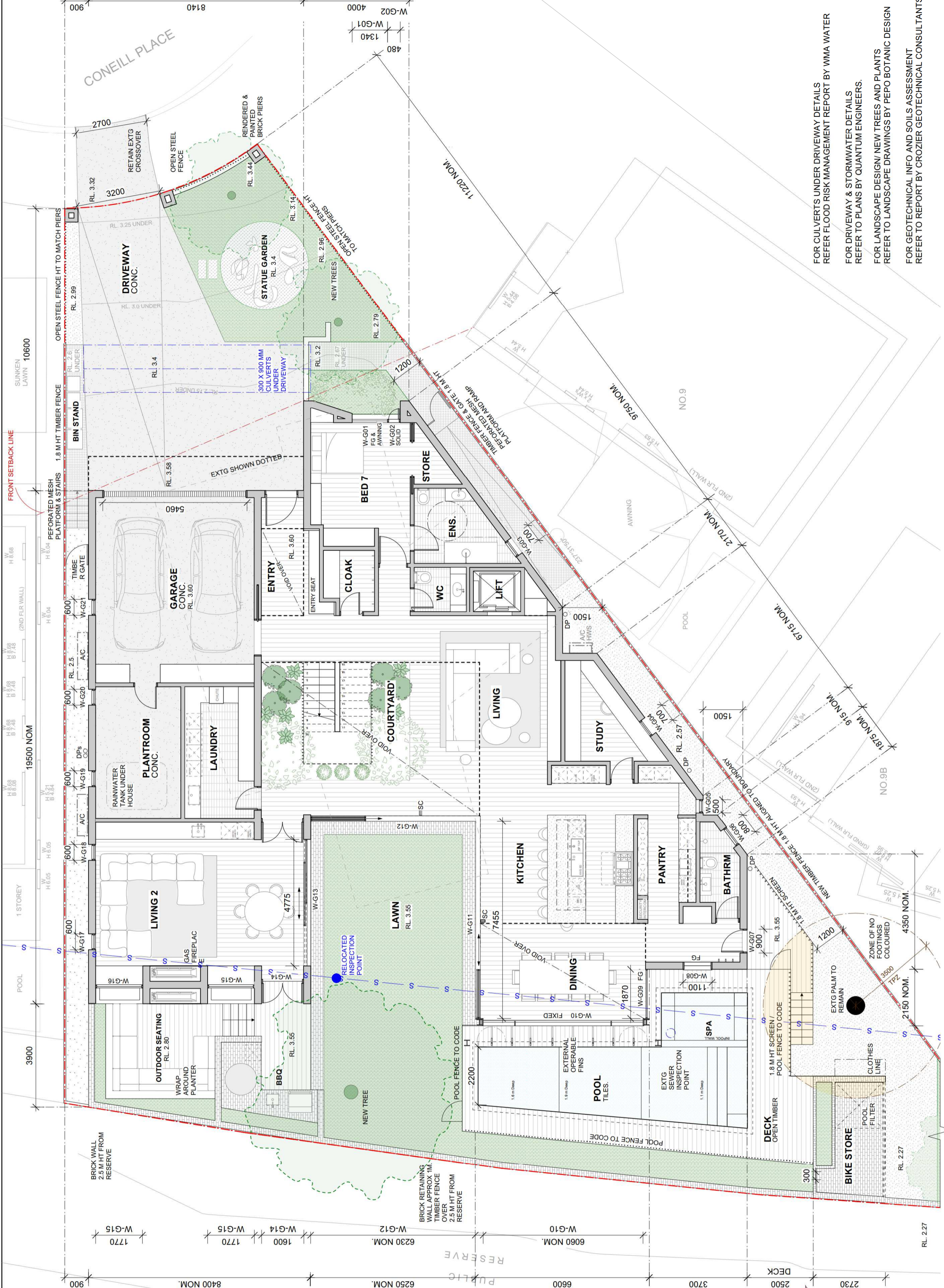
dwg no.: DA-03

revision: A

scale: 1:200 @A2

date: AUGUST 2022

0007928575-02 24 Mar 2023  
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 NSW ARB No. 10947

revision	no.	description	date
D	DA Resubmission - front balcony omitted		15/03/2023

**LEGEND**

	BOUNDARY
	MASONRY WALLS
	OBSCURE GLASS
	JOINERY
	CARPET
	TIMBER FLOOR / DECK
	TILES

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONSIDER ALL LEVELS BASED ON SITE PROFILE. COORDINATES ON THIS DRAWING SHOULD NOT BE SCALE. DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONS IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
 1:200 0 2m 4m 6m 8m 10m

project: Paddon Residence  
 8 Conneill Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125

client: Peter Paddon

dwg title: Proposed Ground Floor

project no.: 106  
 dwg no.: DA-04  
 revision: D

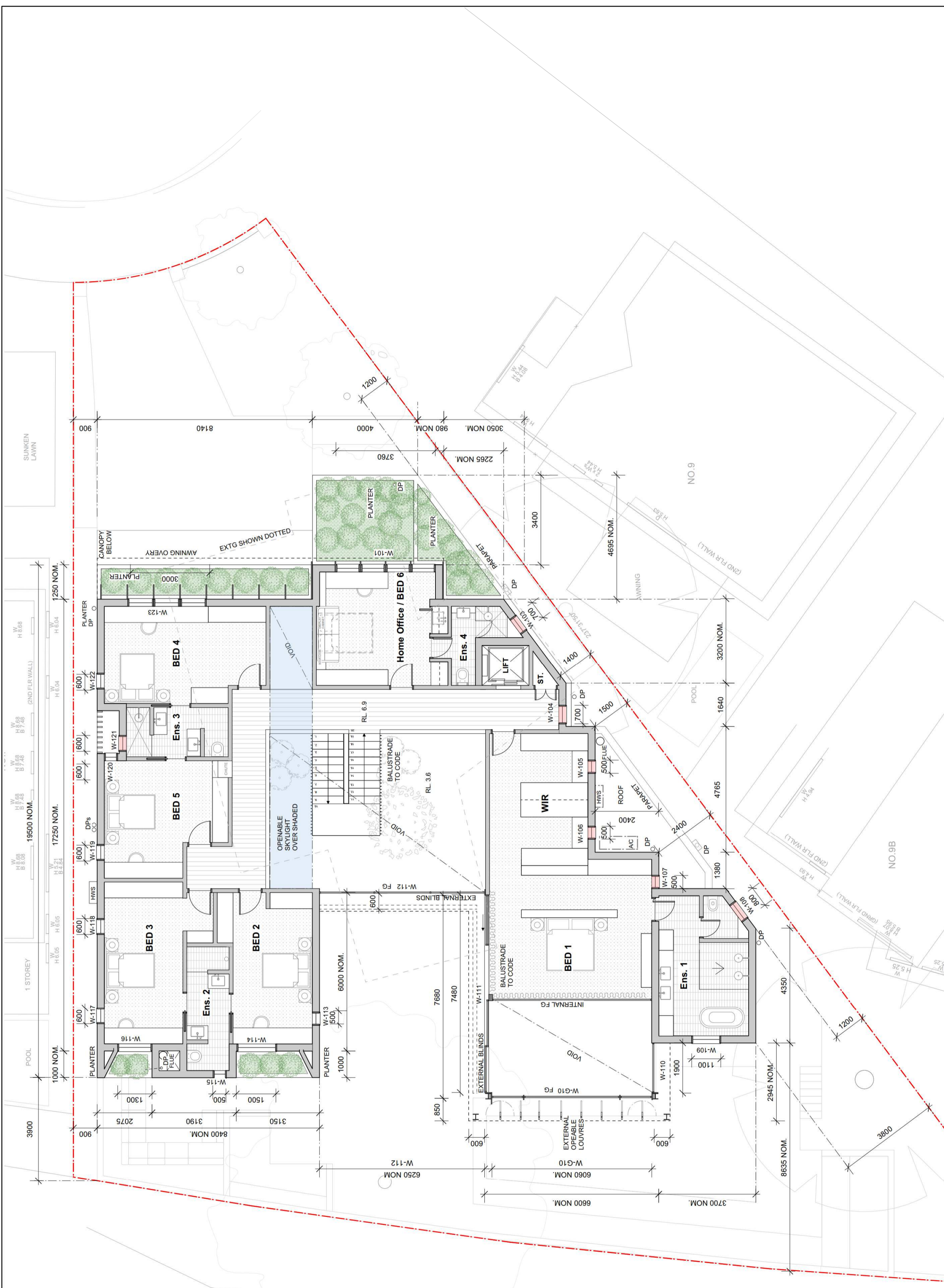
scale: 1:100 @A2  
 date: AUGUST 2022

FOR CULVERTS UNDER DRIVEWAY DETAILS  
 REFER FLOOD RISK MANAGEMENT REPORT BY WMA WATER

FOR DRIVEWAY & STORMWATER DETAILS  
 REFER TO PLANS BY QUANTUM ENGINEERS.

FOR LANDSCAPE DESIGN/ NEW TREES AND PLANTS  
 REFER TO LANDSCAPE DRAWINGS BY PEPO BOTANIC DESIGN

FOR GEOTECHNICAL INFO AND SOILS ASSESSMENT  
 REFER TO REPORT BY CROZIER GEOTECHNICAL CONSULTANTS



revision	no.	description	date
E	1	DA Resubmission - front balcony omitted	15/03/2023

**LEGEND**

	BOUNDARY		MASONRY WALLS
	CARPET		TIMBER FLOOR
	OBSCURE GLASS		JOINERY
	TILES		

**FLOOR FINISHES:**

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONFORM WITH AS 1684.5. ALL DIMENSIONS ON SITE PERMITTED TO VARY BY UP TO 10MM. DIMENSIONS SHOULD NOT BE SCALE. DIMENSIONS SHOWN IN WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONS TO SUBSTRATE UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR: 1:100 0 1m 2m 3m 4m 5m  
1:200 0 2m 4m 6m 8m 10m

**project:** Paddon Residence  
8 Coneill Place,  
Forest Lodge, 2037  
Lot 8 DP 24125

**client:** Peter Paddon

**dwg title:** Proposed First Floor

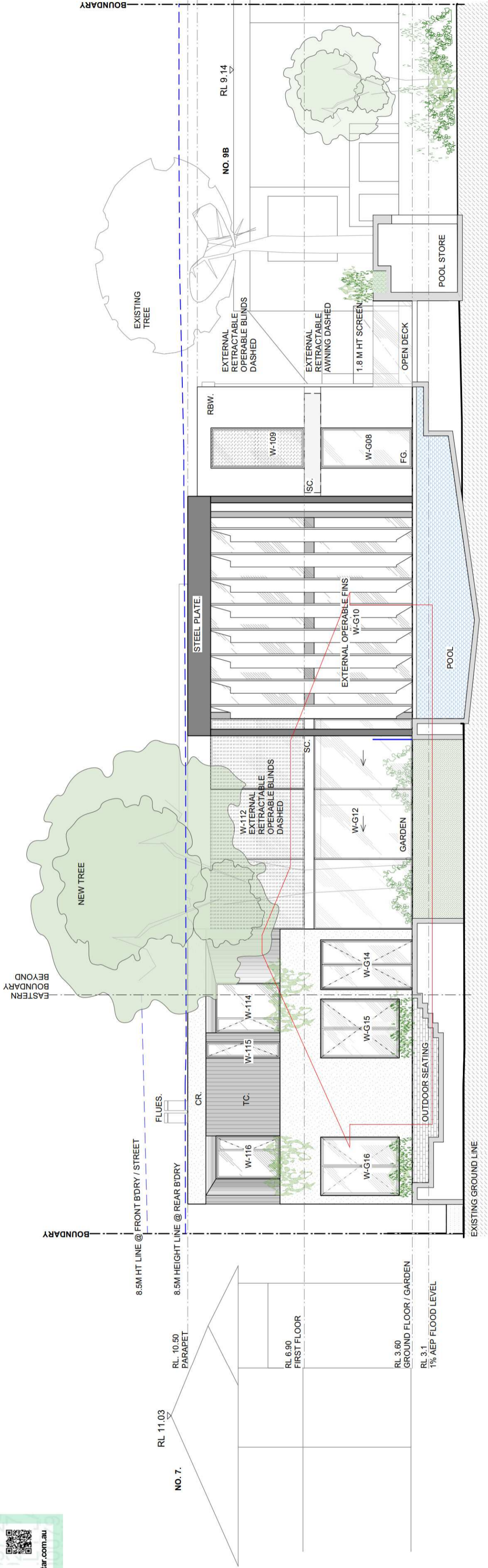
**project no.:** 106

**dwg no.:** DA-05

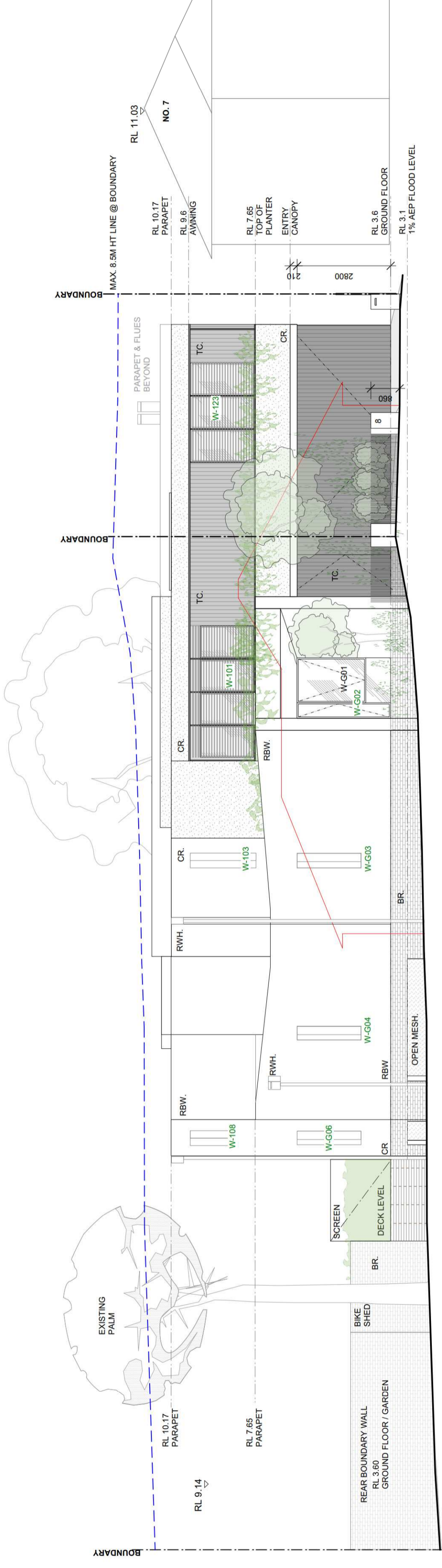
**revision:** E

**scale:** 1:100 @A2

**date:** AUGUST 2022



1 PROPOSED WEST ELEVATION



2 PROPOSED EAST ELEVATION



revision	no.	description	date
E	DA Resubmission - front balcony omitted	15/03/2023	

**LEGEND**

BR	BRICK	CONCRETE	DOWNPIPE	EXISTING	HOUSE TO BE DEMOLISHED
CR	CONCRETE	EXISTING	GLASS	METAL BALUSTRADE	RENDERED BRICKWORK
DP	DOWNPIPE	EXISTING	GLASS	RAINWATER HEAD	TIMBER CLADDING
EX	EXISTING	HOUSE TO BE DEMOLISHED			
FG	FIRE PLACE				
FP	FIRE PLACE				
GB	GLASS BALUSTRADE				
MB	METAL BALUSTRADE				
RBR	RENDERED BRICKWORK				
RWH	RAINWATER HEAD				
SC	SCREEN				
TC	TIMBER CLADDING				

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONFORM ALL LEGS MEASUREMENTS ON SITE TO THE COMMONWEALTH METRE CONVENTION. DIMENSIONS SHOULD NOT BE SCALE WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONS IN THIS DRAWING ARE TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN THE PROPERTY OF MOLNAR ARCHITECTS P/L

SCALE BAR: 1:100 0 1m 2m 3m 4m 5m  
1:200 0 2m 4m 6m 8m 10m

project: Paddon Residence  
8 Conneil Place,  
Forest Lodge 2037  
Lot 8 DP 24125

client: Peter Paddon

dwg title: Proposed Elevations West and East

project no.: 106

dwg no.: DA-06

revision: E

scale: 1:100 @A2

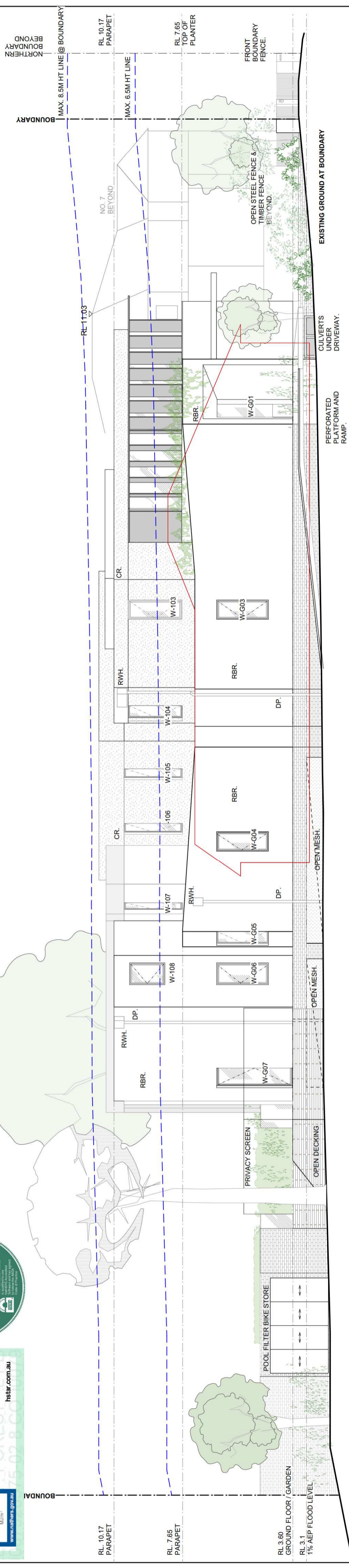
date: AUGUST 2022



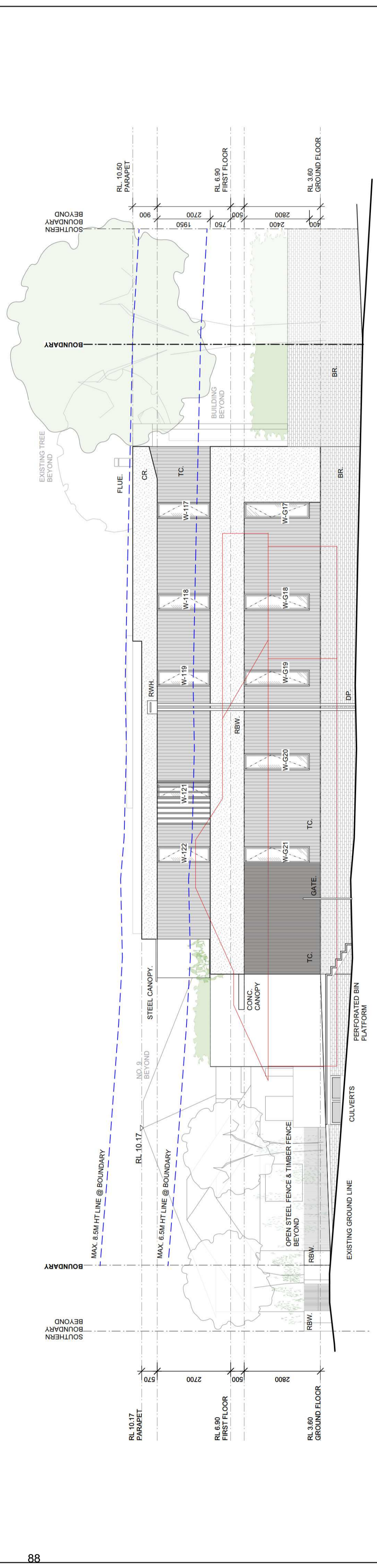
0007928575-02 24 Mar 2023  
 Assessor Andrew Spalle  
 Accreditation No. 20088  
 Address 8 Cornell Place, Forest Lodge, NSW, 2037  
 Assessor Number 20088  
 Assessor Signature

6.4  
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ABSA  
 Australian Building Sustainability Association  
 Accreditation Period 31/03/2022-31/03/2023  
 Assessor Name Andrew Spalle  
 Assessor Number 20088  
 Assessor Signature



1 PROPOSED SOUTH ELEVATION



2 PROPOSED NORTH ELEVATION

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 ABN 7264 1779 375  
 NSW ABR No. 10947

revision: no. description date  
 E DA Resubmission - front balcony 15/03/2023  
 omitted

LEGEND  
 BR BRICK  
 CR CONCRETE  
 DP DOWNPIPE  
 EX EXISTING  
 FG FIXED GLASS  
 FP FIREPLACE  
 GB GLASS BALUSTRADE  
 MB METAL BALUSTRADE  
 RBR RENDERED BRICKWORK  
 RWH RENDERED BRICKWORK  
 SC SHELTER  
 TC TIMBER CLADDING

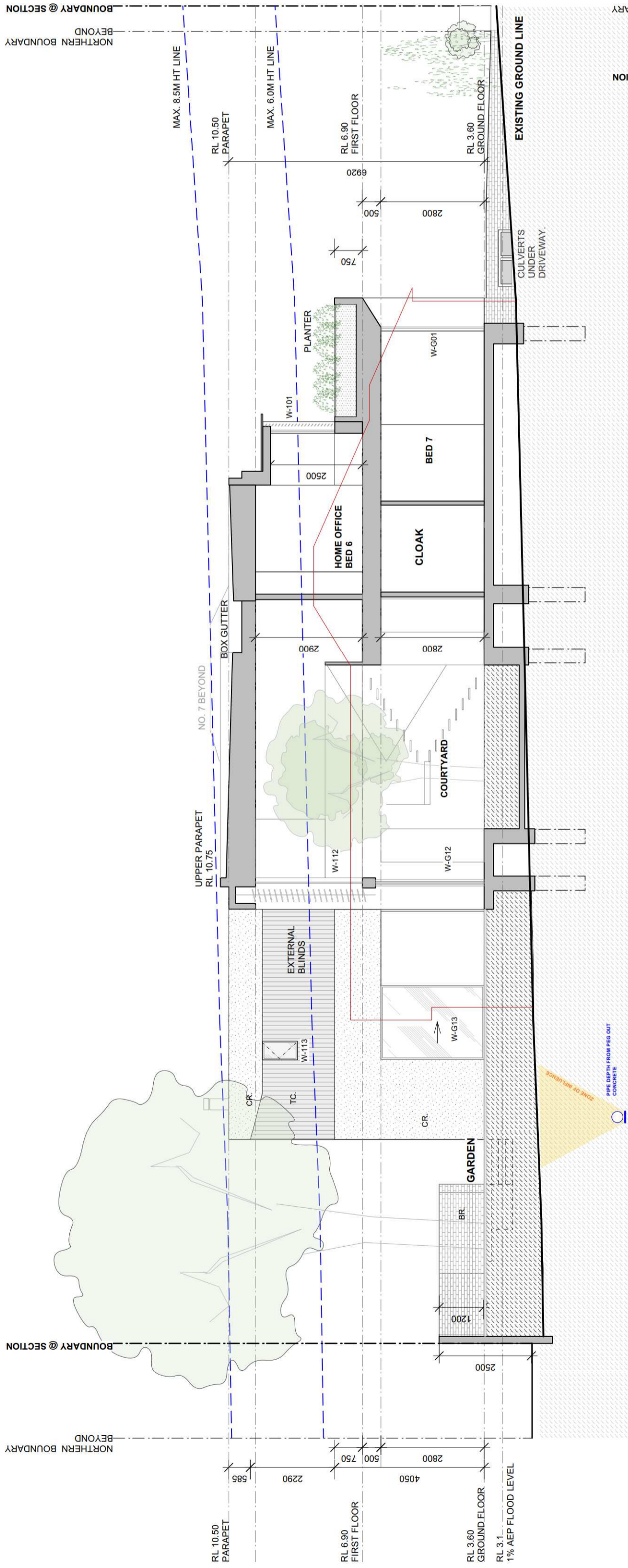
project: Paddon Residence  
 8 Conneil Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125

client: Peter Paddon

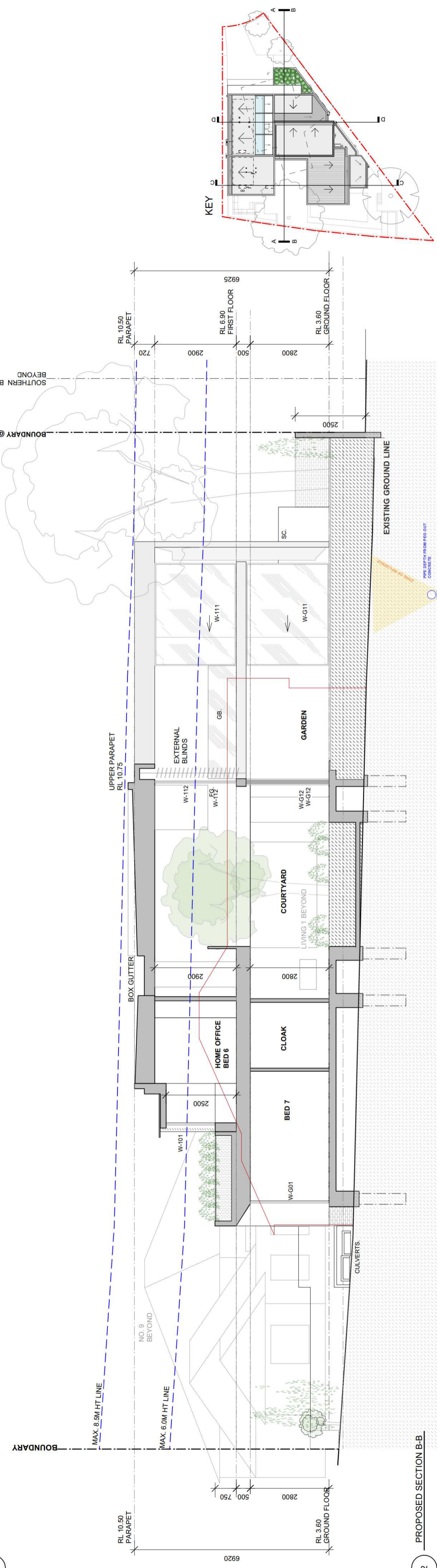
dwg title: Proposed Elevations: North and South  
 project no.: 106  
 revision: E  
 scale: 1:100 @A2  
 date: AUGUST 2022



0007928575-02 24 Mar 2023  
 Assessor Andrew Spalle  
 Accreditation No. 20068  
 Address 8 Corneill Place, Forest Lodge, NSW, 2037  
 www.nstester.com.au  
 hstar.com.au



1 PROPOSED SECTION A-A



2 PROPOSED SECTION B-B



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 545 South Dowling St.  
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 ABN 7264 1779 375  
 NSW ABB No. 10947

revision	no.	description	date
E	DA Resubmission - front balcony omitted	15/03/2023	

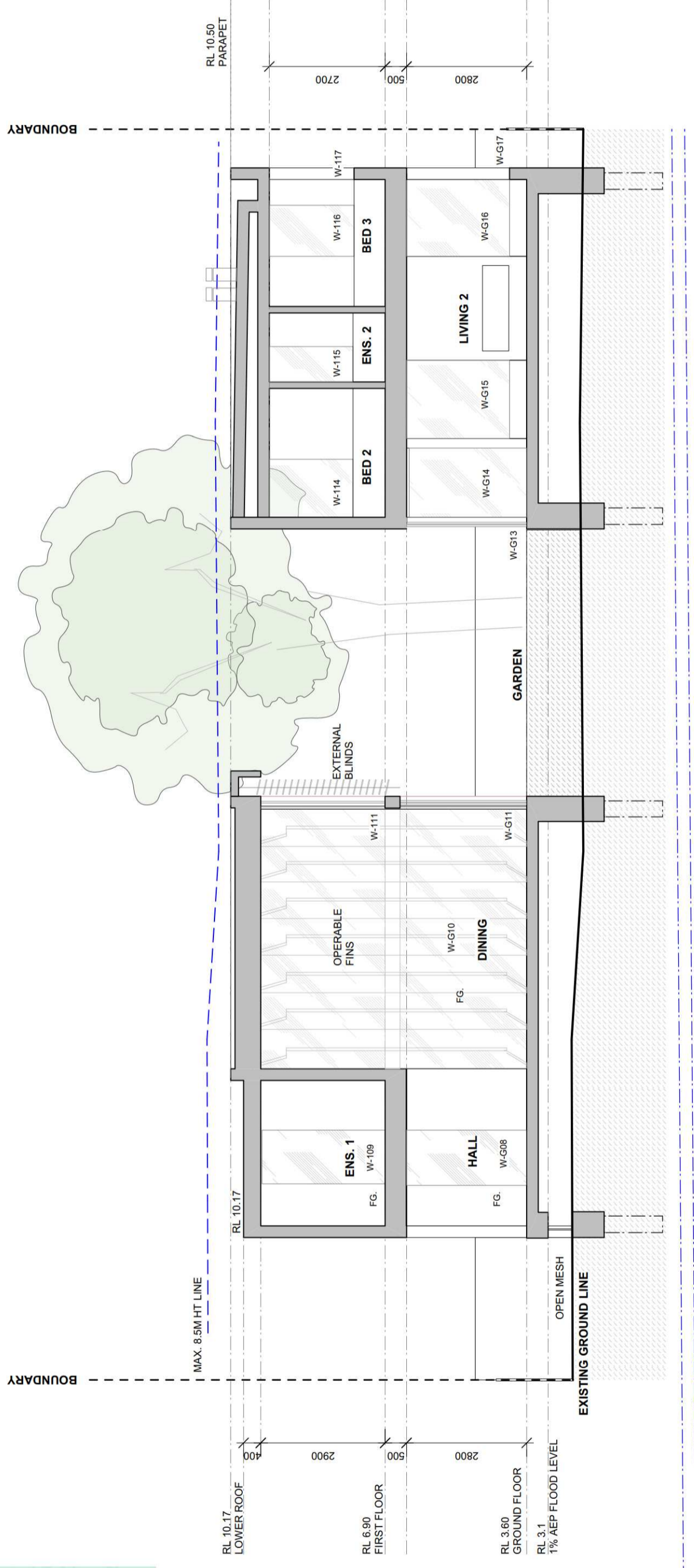
**LEGEND**  
 BR CONCRETE  
 CR DOWNPIPE  
 DP EXISTING  
 EX EXISTING HOUSE TO BE DEMOLISHED  
 FG FIXED GLASS  
 FP FIREPLACE  
 GB GLASS BALUSTRADE  
 MB METAL BALUSTRADE  
 RBR RENDERED BRICKWORK  
 RWH RAINWATER HEAD  
 SC CLADDING  
 TC TIMBER CLADDING

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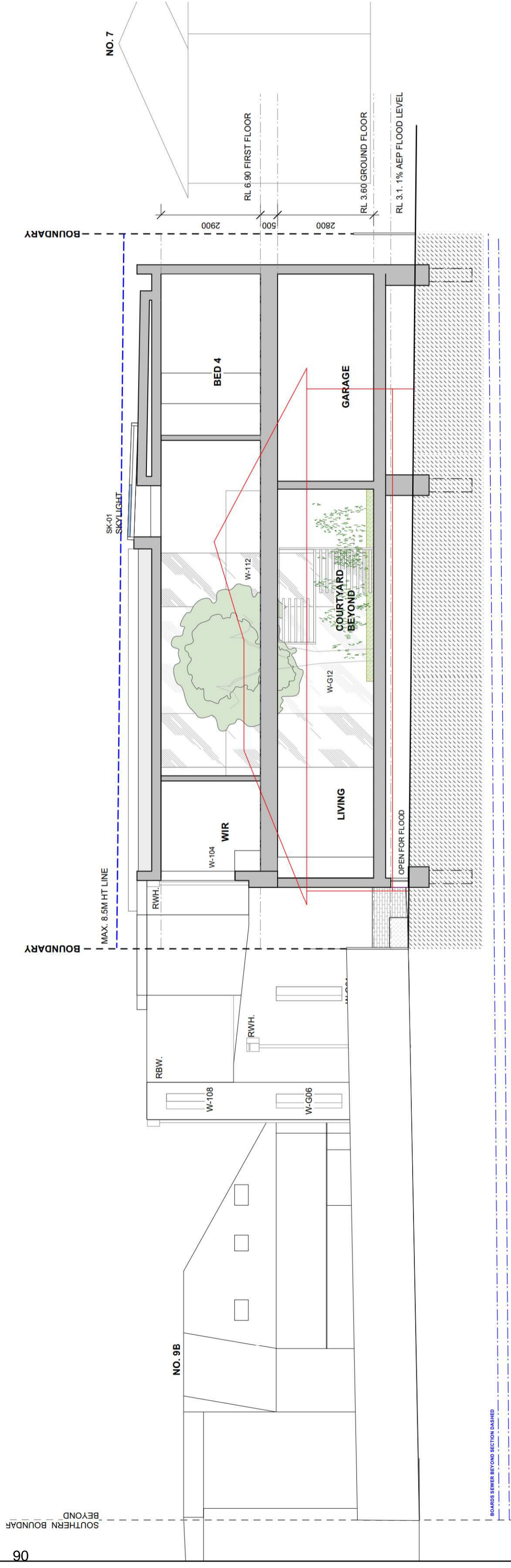
SCALE BAR  
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project: Paddon Residence  
 8 Corneill Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125  
 client: Peter Paddon

dwg title: Proposed Sections A-A, B-B.  
 project no.: 106  
 revision: DA-08 E  
 scale: 1:100 @A2  
 date: AUGUST 2022



1 PROPOSED SECTION C-C



2 PROPOSED SECTION D-D



revision	no.	description	date
D	1	DA Resubmission - front balcony omitted	15/03/2023

LEGEND	EXISTING HOUSE TO BE DEMOLISHED
BR	BRICK
CR	CONCRETE
DP	DOWNPIPE
EX	EXISTING
FG	FIREPLACE
FP	FIXED GLASS
GB	GLASS BALUSTRADE
MB	METAL BALUSTRADE
RBR	RENDED BRICKWORK
RWH	RAINWATER HEAD
SC	CLADDING
TC	TIMBER CLADDING

SCALE BAR	1:100	0	1m	2m	3m	4m	5m
	1:200	0	2m	4m	6m	8m	10m

project: Paddon Residence  
8 Conneill Place,  
Forest Lodge 2037  
Lot 8 DP 24125

client: Peter Paddon

dwg title: Proposed Sections C-C, D-D

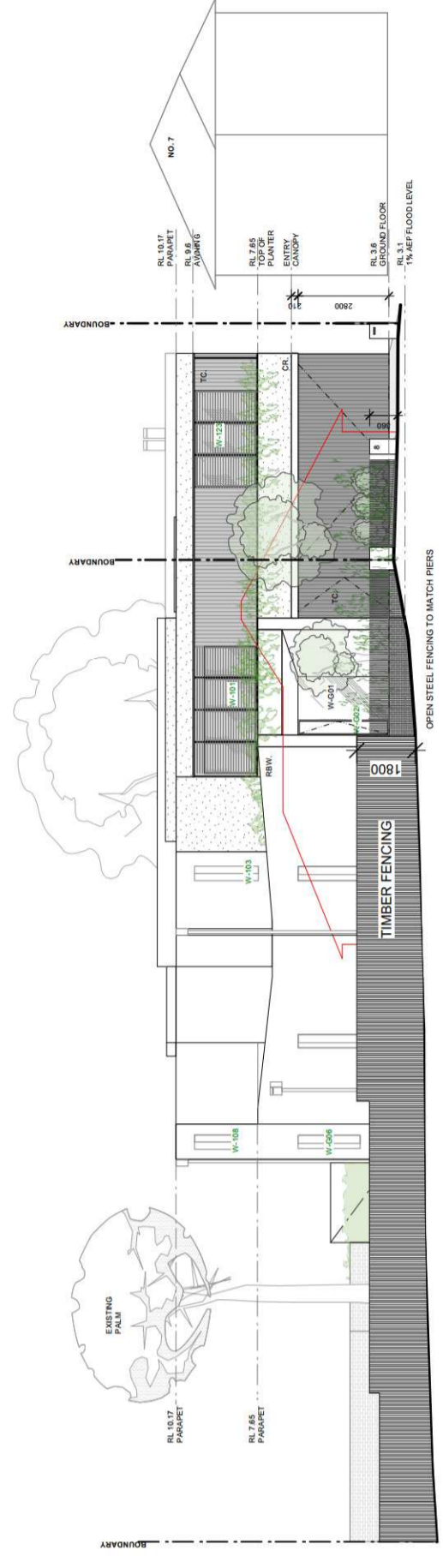
project no.: 106

dwg no.: DA-09

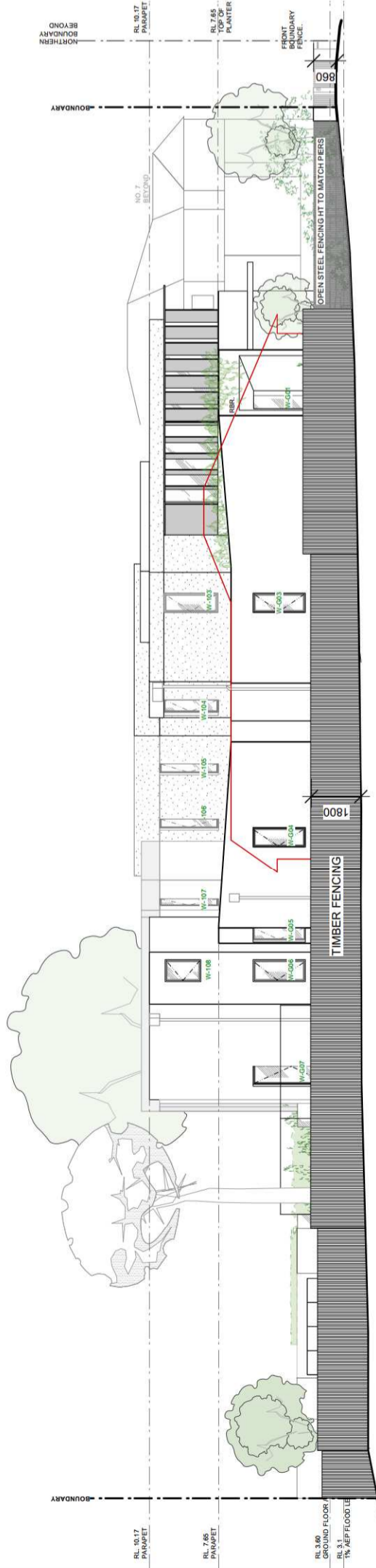
revision: D

scale: 1:100 @A2

date: AUGUST 2022



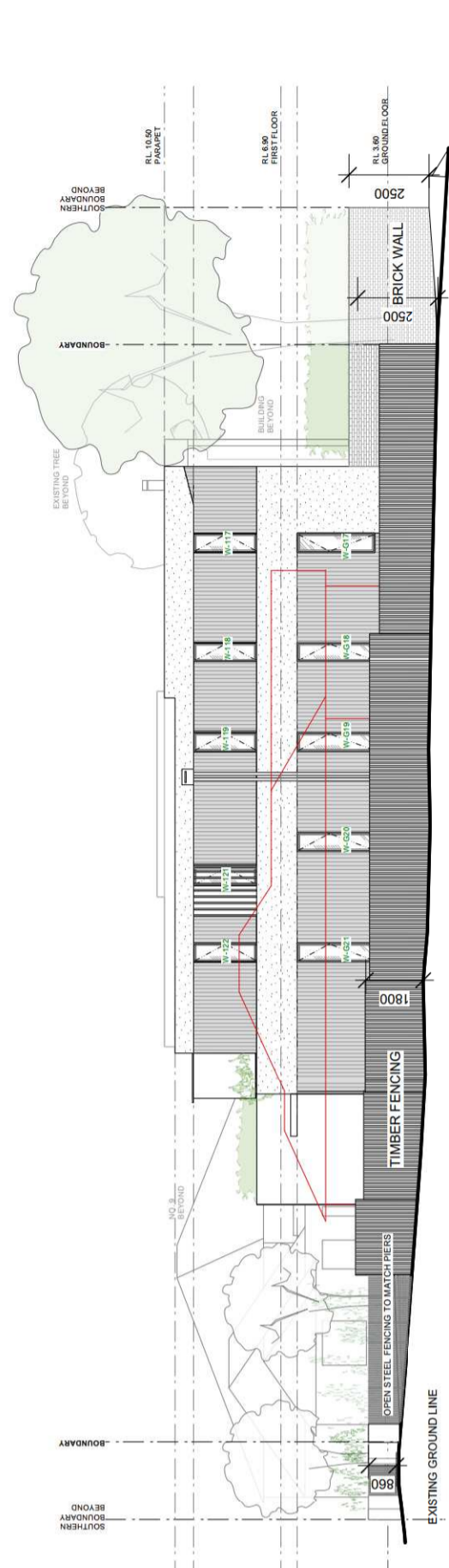
1 PROPOSED NORTH ELEVATION WITH BOUNDARY FENCES



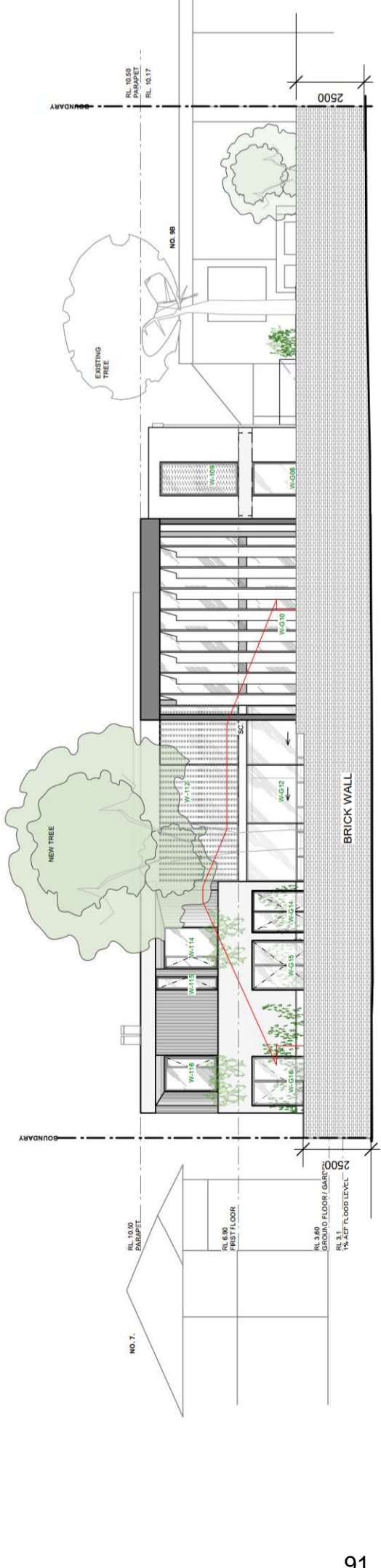
2 PROPOSED EAST ELEVATION WITH BOUNDARY FENCES

**0007928575-02 24 Mar 2023**  
**6.4** Assessor Andrew Spalle Accreditation No. 200688  
**NATIONWIDE HOUSE** 45.1 MJ/m<sup>2</sup>  
 Address 8 Conneill Place, Forest Lodge, NSW, 2037  
 www.nhwa.gov.au

**ABSA** Australian Building Sustainability Association  
 Accreditation No. 31/03/2022-31/03/2023  
 Assessor Name Andrew Spalle Assessor Number 20069  
 Assessor Signature



4 PROPOSED SOUTH ELEVATION WITH BOUNDARY FENCES



3 PROPOSED WEST ELEVATION WITH BOUNDARY FENCES

7 WINDOW SCHEDULE

Window No.	Type	Width (mm)	Height (mm)	Orientation	Area/ m2	Overshading Distance away /m	Height/m	Shading Eave 500mm 2 Storey	Frame
W-G01	Awning	1340	2800	E	3.75	3	5		Aluminium
W-G02	Casement	480	2800	E	1.34 solid operable				Aluminium
W-G03	Casement	700	1900	S	1.33				Aluminium
W-G04	Casement	700	1900	S	1.33				Aluminium
W-G05	Casement	500	1900	S	0.95				Aluminium
W-G06	Casement	800	1900	S	1.52				Aluminium
W-G07	Casement	1000	2800	S	2.8	4	11		Aluminium
W-G08	Fixed	1100	2800	W	3.08			Retractable Awning 4 m	Aluminium
W-G09	Fixed	2370	2800	S	6.64	4.5	3		Aluminium
W-G10	Fixed	6060	6160	W	37.3			External Operable Fins	Aluminium
W-G11	X 2 Slider	7950	2800	N	22.3	7.5	7		Aluminium
W-G12	Sliders	6250	2800	W	17.5	10	7	External Louvers	Aluminium
W-G13	Sliders	4800	2800	S	13.4				Aluminium
W-G14	Casement	1550	2800	W	4.3	8	7	Eave 600 mm	Aluminium
W-G15	Casement	1800	2400	W	4.32	5.5	7	Eave 600 mm	Aluminium
W-G16	Casement	1800	2400	W	4.32			Eave 600 mm	Aluminium
W-G17	Casement	600	2400	N	1.44				Aluminium
W-G18	Casement	600	2400	N	1.44				Aluminium
W-G19	Casement	600	2400	N	1.44				Aluminium
W-G20	Casement	600	2400	N	1.44				Aluminium
W-G21	Casement	600	2400	N	1.44				Aluminium

FIRST FLOOR:

Window No.	Type	Width (mm)	Height (mm)	Orientation	Area/ m2	Overshading Distance away /m	Height/m	Shading Eave 1200mm	Frame
W-101	Casement	3760	1700	E	6.4				Aluminium
W-103	Casement	700	2900	S	2.0				Aluminium
W-104	Casement	700	2100	S	1.5				Aluminium
W-105	Casement	500	2100	S	1.0				Aluminium
W-106	Casement	500	2100	S	1.0				Aluminium
W-107	Casement	500	2800	S	1.4				Aluminium
W-108	Casement	800	1300	S	1.0				Aluminium
W-109	Fixed	1250	2900	W	3.6			External Louvers	Aluminium
W-110	Fixed	2370	2900	S	6.9			Eave 600mm	Aluminium
W-111	Fixed & Slider	8100	2900	N	23.5	7.5		External louvers Eave 600mm	Aluminium
W-112	Fixed	6300	2900	W	18.3	10		External louvers Eave 600mm	Aluminium
W-113	Casement	500	950	S	0.5			Eave 450mm + external louvers	Aluminium
W-114	Casement	1500	1950	W	2.9			Eave 1000mm	Aluminium
W-115	Casement	500	2250	W	1.1				Aluminium
W-116	Casement	1300	1950	W	2.5				Aluminium
W-117	Casement	600	1950	N	1.2				Aluminium
W-118	Casement	600	1950	N	1.2				Aluminium
W-119	Casement	600	1950	N	1.2				Aluminium
W-120	Casement	600	1950	E	0.9				Aluminium
W-121	Casement	600	1950	N	1.2				Aluminium
W-122	Casement	600	1950	N	1.2				Aluminium
W-123	Casement	3000	1950	E	5.9			Eave 1250mm	Aluminium

WINDOW/DOOR THERMAL SPECIFICATION:

Window Type	Uw	SHGC
Casement	5.4	0.41
Fixed	2.3	0.50
Sliding	3.2	0.46

**MOLNAR ARCHITECTS**

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 ABN 7264 1779 375  
 NSW ARB No. 10947

revision	no.	description	date
E	DA Resubmission - front balcony omitted	15/03/2023	

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONSIDER ALL MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF WORK. DIMENSIONS SHOULD NOT BE SCALE WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONING IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

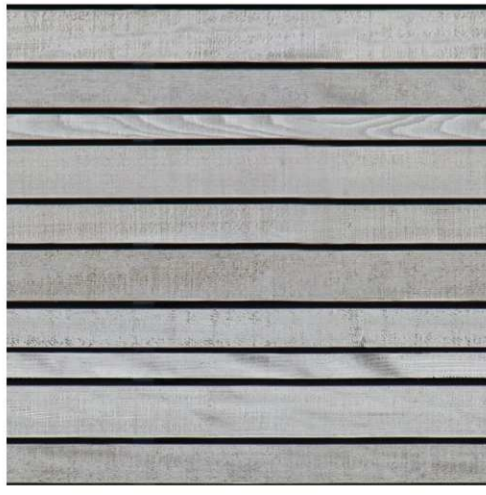
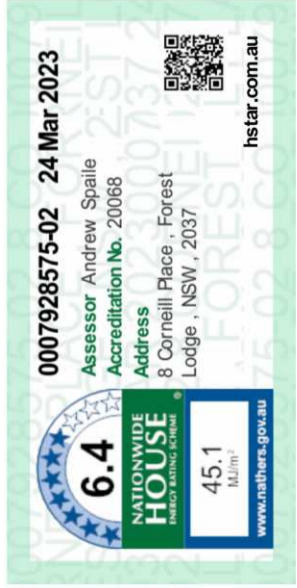
SCALE BAR  
 1:100 0 1m 2m 3m 4m 5m  
 1:200 0 2m 4m 6m 8m 10m

project: Paddon Residence  
 8 Conneill Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125

client: Peter Paddon

dwg title: Proposed Elevations with Fences

project no.: 106  
 revision: DA-10  
 scale: 1:100 @A2  
 date: AUGUST 2022



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.



11.

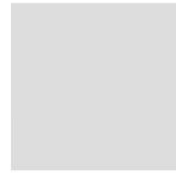
1. TIMBER CLADDING
2. METAL THIN PROFILE WINDOW/ DOOR FRAMES
3. RECYCLED BRICKWORK
4. EXTERNAL OPERABLE VERTICAL FINS
5. LAWN
6. TILED POOL
7. TIMBER DECKING
8. DARK STAINED TIMBER FENCING
9. CONCRETE
10. EXPRESSED DARK COLOURED STEEL
11. COLOUR PALETTE:



A.



B.



C.



D.

- A: DEEP GREEN METALLIC STEEL
- B: DEEP GRAPHITE METALLIC STEEL
- C: CONCRETE GREY
- D: WHITE RENDER



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revision	no.	description	date
A	FOR COUNCIL SUBMISSION	August 2022	

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONCERN ALL MEASUREMENTS ON SITE. VERIFY COORDINATES ON SITE. DIMENSIONS ON DRAWINGS SHOULD NOT BE SCALE WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONING IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN COPYRIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
1:200 0 2m 4m 6m 8m 10m

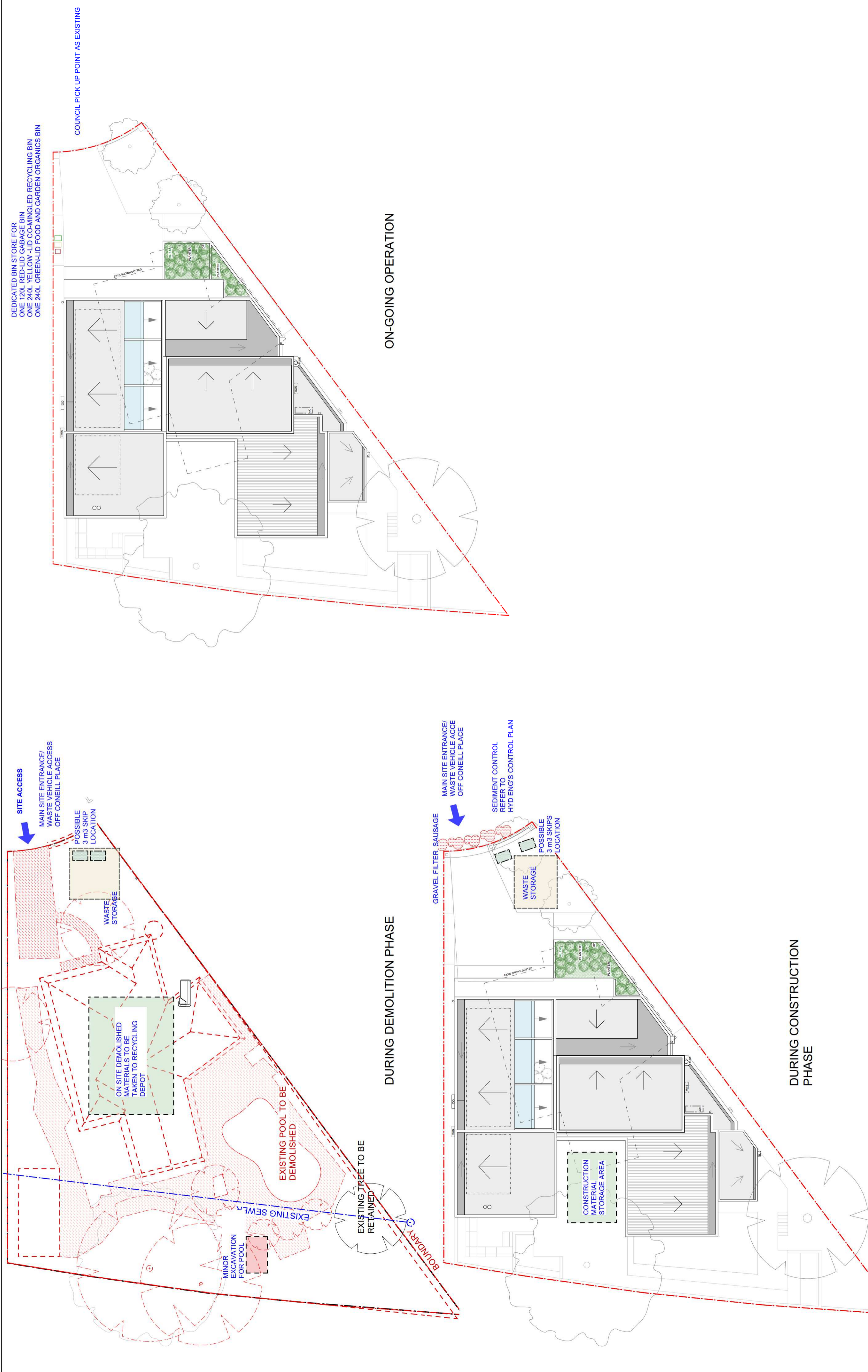
project: Paddon Residence  
8 Coneill Place,  
Forest Lodge 2037  
Lot 8 DP 24125

client: Peter Paddon

dwg title: External Finishes Schedule

project no.: 106  
dwg no.: DA-15  
revision: A

scale: 1:200 @A2  
date: AUGUST 2022



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 ABN 7264 1779 375  
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**revision**

no.	description	date
D	DA Resubmission - front balcony omitted	15/03/2023

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM. CONFORM ALL MEASUREMENTS ON SITE WITH THE COMMONWEALTH METRIC SYSTEM. DIMENSIONS SHOULD NOT BE SCALE DRAWN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. ALL DIMENSIONING IS TO SUBSTRATE BRICKWORK / BLOCKWORK UNLESS OTHERWISE NOTED. DESIGN AND DRAWINGS REMAIN THE RIGHT OF MOLNAR ARCHITECTS P/L

SCALE BAR 1:100 0 1m 2m 3m 4m 5m  
 1:200 0 2m 4m 6m 8m 10m

**project:** Paddon Residence  
 8 Coneill Place,  
 Forest Lodge 2037  
 Lot 8 DP 24125

**client:** Peter Paddon

**dwg title:** Waste Management Plan

**project no.:** 106 **dwg no.:** DA-16 **revision:** D

**scale:** 1:100 @A2 **date:** AUGUST 2022